

IRWIN COMMUNITY CENTER ROOF REPLACEMENT

HOMWOOD-FLOSSMOOR PARK DISTRICT

18120 Highland Avenue

Homewood, IL 60430

190281

12/13/2019

ISSUE FOR BID

NOT FOR CONSTRUCTION

PROJECT TEAM GENERAL NOTES ABBREVIATIONS CERTIFICATION STATEMENT

CLIENT
 HOMEWOOD-FLOSSMOOR PARK DISTRICT
 18120 HIGHLAND AVENUE
 HOMEWOOD, IL 60430
 PHONE: (708) 957-0280
 CONTACT: DOUG BOEHM

ARCHITECT
 WIGHT & COMPANY
 2500 NORTH FRONTAGE ROAD
 DARIEN, IL 0561
 PHONE: (630) 969-7000
 FAX: (630) 969-7979
 CONTACT: MATTHEW DUGGAN
 Design Firm Registration #184-000451

- WORK, MATERIALS AND METHODS SHALL BE IN CONFORMANCE WITH THE CODES, ORDINANCES AND REGULATIONS OF GOVERNMENTAL AGENCIES HAVING JURISDICTION AT THE PROJECT LOCATION.
- UNLESS OTHERWISE INDICATED IN THE CONSTRUCTION DOCUMENTS AS BEING NOT IN CONTRACT (N.I.C.) OR EXISTING, ITEMS, MATERIALS AND INSTALLATION OF SAME ARE PART OF THE CONTRACT AS DEFINED BY THE CONSTRUCTION DOCUMENTS. THE CONTRACTORS SHALL PROVIDE AND INSTALL ACCESSORIES, COMPONENTS AND ASSEMBLIES REQUIRED FOR THE WORK DEPICTED OR SPECIFIED.
- EACH CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING DIMENSIONS AND EXISTING CONDITIONS BEFORE COMMENCING WORK. REPORT DISCREPANCIES AND/OR POTENTIAL PROBLEMS PRIOR TO PROCEEDING WITH AFFECTED WORK.
- FIRE-RATED ASSEMBLIES SHALL BE INSTALLED, LABELED, AND INSPECTED IN ACCORDANCE WITH THE APPLICABLE CODES. THIS INCLUDES FIRE DAMPERS OR FIRE DOORS PROVIDED WHERE AIR DUCTS OR OPENINGS PENETRATE FIRE RATED SURFACES. PENETRATIONS OF RATED FIRE RESISTIVE CONSTRUCTION SHALL BE PROTECTED WITH APPROVED FIRE ASSEMBLIES.
- PENETRATIONS THROUGH SURFACE SHALL BE SEALED WITH SEALANT MATERIAL PER SPECIFICATIONS. FOR PLUMBING, FIRE SPRINKLER AND ELECTRICAL SYSTEMS.
- IN THE EVENT OF DISCREPANCIES BETWEEN DRAWINGS AND/OR SPECIFICATIONS, THE MORE COSTLY OR MORE RESTRICTIVE CONDITIONS SHALL BE DEEMED THE CONTRACT REQUIREMENT UNLESS OTHERWISE STATED IN WRITING.
- PROVIDE GALVANIC PROTECTION BETWEEN DISSIMILAR MATERIALS, WHERE REQUIRED.
- KEEP PIPING AS CLOSE TO WALLS AS POSSIBLE UNLESS NOTED OTHERWISE.
- NO CONTRACTORS SHALL CLOSE OR OBSTRUCT STREETS, ALLEYS OR WALKS. NO MATERIALS ARE TO BE PLACED OR STORED IN STREETS, ALLEYS OR WALKS. DEBRIS IS TO BE REMOVED COMPLETELY FROM THE PREMISES.
- CONTRACTORS SHALL PROVIDE AND ARE SOLELY RESPONSIBLE AND LIABLE FOR PUBLIC AND EMPLOYEE PROTECTION AS NECESSARY AND AS REQUIRED BY THE CODES, INCLUDING EXTERIOR, INTERIOR PEDESTRIAN AND TRAFFIC BARRIERS. EXISTING EXIT CORRIDORS, PATHS OF EXITS, STAIRWAYS, OR EXIT SIGNAGE, MUST HAVE A CLEAR MEANS OF EGRESS DURING PHASES OF CONSTRUCTION.
- CONTRACTORS WISHING TO WORK IN THE BUILDING OR ON THE BUILDING PROPERTY SHALL BE REQUIRED TO PRESENT THE PROPER CERTIFICATES OF INSURANCE. CONTRACTORS ARE REQUIRED TO BE LICENSED WITH THE LOCAL JURISDICTION. LICENSES AND BONDING ARE TO BE INCLUDED IN THE BID PER THE REQUIREMENTS IN THE SPECIFICATIONS.
- DIMENSIONS NOTED ON THE ARCHITECTURAL FLOOR PLAN REGARDING DETAILS AND PARTITION THICKNESSES ARE NOMINAL DIMENSIONS. REFER TO A8 SERIES FOR THE EXACT DIMENSION.

ACCESS.	ACCESSIBLE	MAS.	MASONRY
ACI.	AMERICAN CONCRETE INSTITUTE	MFR./MANUF.	MANUFACTURER
ACOUST.	ACOUSTICAL	MDF	MEDIUM DENSITY FIBERBOARD
ADA	AMERICANS WITH DISABILITIES ACT	MIL.	MILLIMETERS
A.F.F.	ABOVE FINISHED FLOOR	MIN.	MINIMUM
ALT.	ALTERNATE	MISC.	MISCELLANEOUS
ALUM./AL.	ALUMINUM	MHO	MAGNETIC HOLD OPEN
APPROX.	APPROXIMATE	N.O.	MASONRY OPENING
ARCH.	ARCHITECTURAL	NEC	NECESSARY
ASTM.	AMERICAN SOCIETY FOR TESTING AND MATERIALS	N.I.C.	NOT IN CONTRACT
@		NO.	NUMBER
AV	AUDIO VISUAL	NTS	NOT TO SCALE
BD.	BOARD	OC.	ON CENTER
BLDG.	BUILDING	OD.	OUTSIDE DIAMETER
BM	BEAM	ORD.	OVERFLOW ROOF DRAIN
B/O	BOTTOM OF	P.B.	PIPE BOLLARD
BRK.	BREAK	PERS.	PERSON
CAB	CABINET	PL./P. LAM.	PLATE
CC	CENTER TO CENTER	PLY	PLYWOOD
C	CENTERLINE	PP.	DOOR ACTUATOR PUSH PLATE
CJ	CONTROL JOINT	P	PLATE
CMU	CONCRETE MASONRY UNITS	PSF.	POUNDS PER SQUARE FEET
COL.	COLUMN	PSI	POUNDS PER SQUARE INCH
CLG.	CEILING	PT/PTD	PAINT(ED)
CLR.	CLEAR	P.T.	PRESSURE TREATED
CONC.	CONCRETE	RAD.	RADIUS
CONT.	CONTINUOUS	RCP	REFLECTED CEILING PLAN
CONTR.	CONTRACTOR	RD.	ROOF DRAIN
CORR.	CORRIDOR	RESTRM.	RESTROOM
CPT.	CARPET	RM.	ROOM
CR.	ACCESS CARD READER	R.O.	ROUGH OPENING
CT.	CERAMIC TILE	RTU.	ROOF TOP UNIT
DEMO	DEMOLITION	SAFB	SOUND ATTENUATION FIBER BATT INSULATION
DIA.	DIAMETER	SC.	SEALED CONCRETE SCHEDULE
DIMS.	DIMENSIONS	SCHD./JSC	SCHEDULE
DN.	DOWN	HED.	
DR.	DOOR	SD	SCHEMATIC DESIGN
DS	DOWN SPOUT	SF.	SQUARE FEET
DWGS.	DRAWINGS	SGFT.	STRUCTURAL GLAZED
EA.	EACH	SHT.	SHEET
EIFS	EXTERIOR INSULATED FINISH SYSTEM	SIM.	SIMILAR
EL.	ELEVATION	SJI.	STEEL JOINT INSTITUTE
ELEC.	ELECTRICAL	S.M.	SHEET METAL
ELEV.	ELEVATOR	SPA.	SPACES
E.J.	EXPANSION JOINT	SPEC.	SPECIFICATIONS
EQ.	EQUAL	ST.	STONE TILE
EQUIP.	EQUIPMENT	STC	SOUND TRANSMISSION COEFFICIENT
EWC	ELECTRIC WATER COOLER	STB.	STONE TILE BASE
EXP	EXPANSION	STL.	STEEL
EXT	EXTERIOR	STL.	STEEL ANGLE
EXIST.	EXISTING	ST.	STAINLESS STEEL
ETR	EXISTING TO REMAIN	STL./SS	STORAGE
FD	FLOOR DRAIN	STOR.	STRUCTURAL SHEET VINYL
FEC	FIRE EXTINGUISHER	SV	SYNTHETIC
FF	FACTORY FINISH	SYN	TOP OF
FIN.	FINISHED	T/	TOP OF FOOTING
FL./FLR.	FLOOR	T/FTG.	TEXTURED PAINT
FOUND.	FOUNDATION	TPNT	TYPICAL
FT.	FOOT/FEET	UNO.	UNLESS NOTED OTHERWISE
FTG.	FOOTING	U/ROOF DECK	UNDERSIDE OF ROOF DECK
GA.	GAUGE	USGS.	UNITED STATES GEOLOGICAL SURVEY
GALV.	GALVANIZED	VB	VINYL BASE
GWB / GYP. BD.	GYP. WALL BOARD	VCT.	VINYL COMPOSITION TILE
HD	HEAVY DUTY	VERT.	VERTICAL
HM	HOLLOW METAL	V.I.F.	VERIFY IN FIELD
HOR.	HORIZONTAL	VWC.	VINYL WALL COVERING
HP	HIGH POINT	WC	WATER CLOSET
HT/HTG.	HEIGHT	WD	WOOD
HVAC	HEATING, VENTILATION & AIR CONDITIONING	W	WOMENS
IN.	INCH	W/	WITH
INSUL.	INSULATED/INSULATION	W/O	WITHOUT
INT	INTERIOR	WWF.	WELDED WIRE FABRIC
INT. JOINT	INTERIOR JOINT		
LAV	LAVATORY		
LINO.	LINOLEUM		
LBS.	POUNDS		
LP	LOW POINT		
LVL.	LEVEL		
M	MENS		
MAT.	MATERIAL		
MAX.	MAXIMUM		

CERTIFICATION STATEMENT

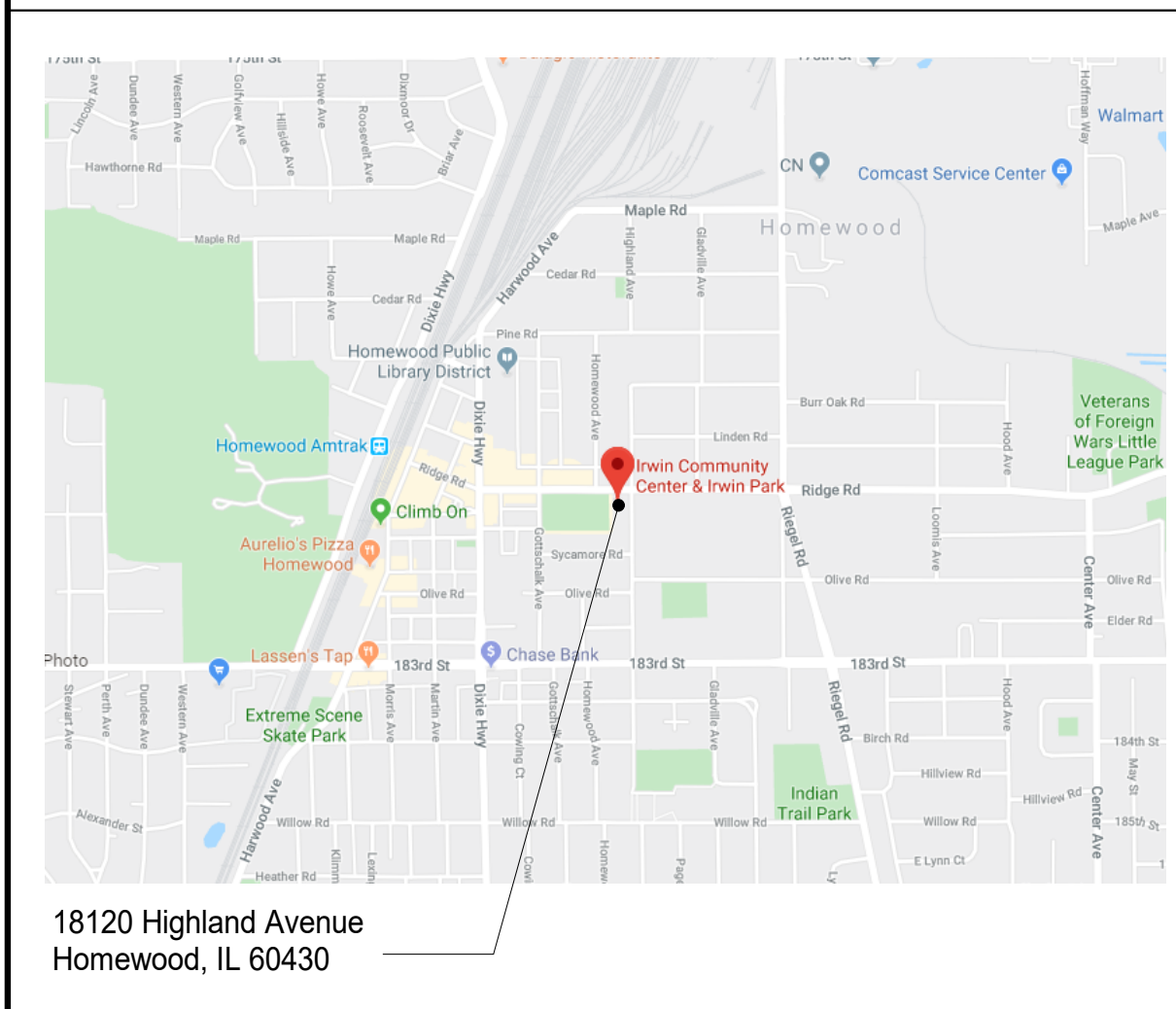
I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED BY OR UNDER MY DIRECT SUPERVISION AND TO THE BEST OF MY PROFESSIONAL KNOWLEDGE THEY CONFORM TO THE BUILDING CODE.

SIGNED: _____ ARCHITECT/ENGINEER

ILLINOIS REGISTRATION NO.: _____

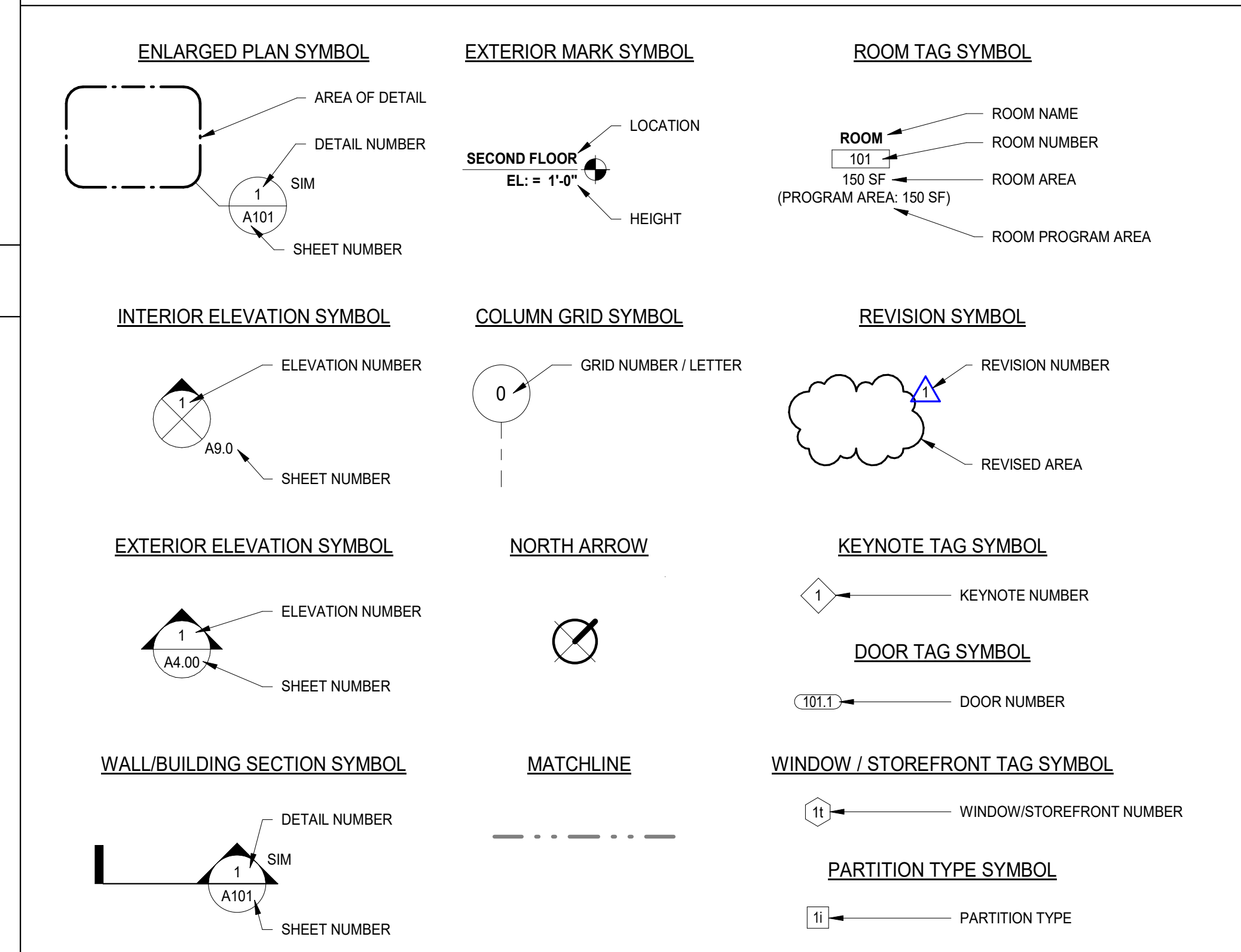
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LOCATION MAP



18120 Highland Avenue
 Homewood, IL 60430

GRAPHIC SYMBOLS

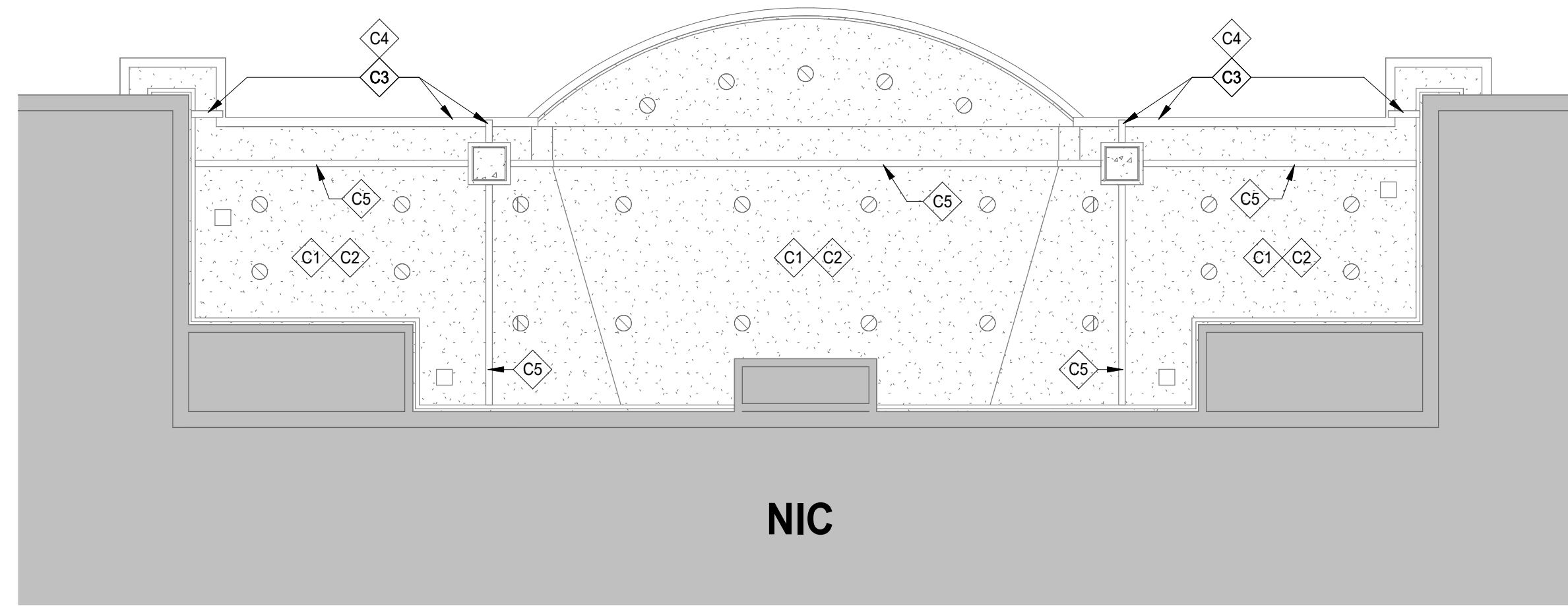


INDEX OF DRAWINGS

GENERAL	COVER SHEET
G0.00	
ARCHITECTURAL	ROOF PLAN & REFLECTED CEILING PLAN
A2.03	
A5.00	ROOF DETAILS
Grand total:	3

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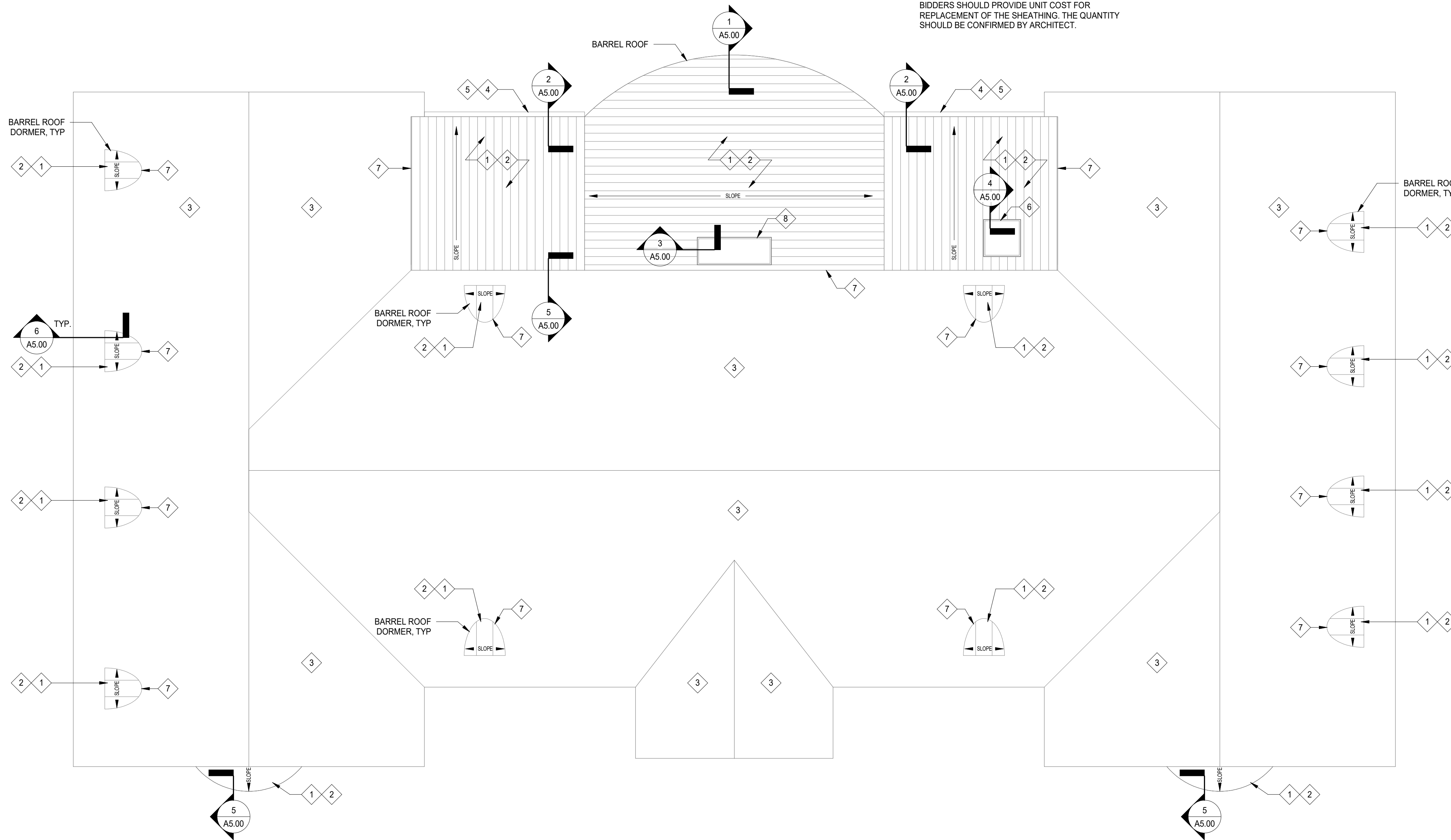
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2 PARTIAL REFLECTED CEILING PLAN
 SCALE: 1/8" = 1'-0"

NOTE:
 EXISTING COPPER ROOFING TO BE REMOVED AND STOCKPILED FOR OWNER TO RECYCLE. METHOD AND LOCATION FOR STOCKPILE TO BE CONFIRMED BY OWNER.
 BIDDERS SHOULD PROVIDE UNIT COST FOR REPLACEMENT OF THE SHEATHING. THE QUANTITY SHOULD BE CONFIRMED BY ARCHITECT.

ALTERNATE #1:
 NEW STANDING SEAM METAL ROOF (ALUMINUM) TO BE INSTALLED. SEAM DIRECTION TO MATCH EXISTING CONDITION. COLOR: BROWN/COPPER FROM STANDARD FINISHES; SHOULD BE APPROVED BY THE ARCHITECT.



1 ROOF FLOOR PLAN OVERALL
 SCALE: 1/8" = 1'-0"

GENERAL NOTES

1. ALL ITEMS THAT ARE TO BE REMOVED AND REINSTALLED OR SAVED ARE TO BE TAGGED AND CAREFULLY STORED (SEE OWNER FOR LOCATION).
2. ALL AREAS AFFECTED BY DEMOLITION TO BE PATCHED, REPAIRED, & LEVELLED TO MATCH EXISTING ADJACENT SURFACE. VERIFY IN FIELD.
3. THE CONSTRUCTION DOCUMENTS INDICATE THE OVERALL AREAS OF WORK. INCIDENTAL WORK ASSOCIATED BUT NOT SHOWN ON THE CONSTRUCTION DOCUMENTS MAY BE REQUIRED OUTSIDE THE PROJECT AREAS. THIS WORK IS PART OF THE CONSTRUCTION CONTRACT AND IS TO BE COMPLETED IN ACCORDANCE WITH THE CONTRACT REQUIREMENTS AT NO ADDITIONAL COST TO THE OWNER.
4. ALL ITEMS INDICATED TO REMAIN ARE TO BE PROTECTED FROM DAMAGE. DAMAGED ITEMS ARE TO BE PATCHED & REPAIRED OR REPLACED AS REQUIRED TO MATCH ADJACENT LEVEL OF FINISH AND CONSTRUCTION. AT NO ADDITIONAL COST TO THE OWNER.
5. WHEN THE REMOVAL OF EXISTING SURFACE MATERIAL IS REQUIRED TO COMPLETE CONTRACT WORK AND A NEW FINISH IS NOT SCHEDULED, PATCH/REPAIR AND PRIME THE AFFECTED SURFACE TO RECEIVE NEW FINISH.
6. ALL ELECTRICAL DEVICES & ASSEMBLIES BEING AFFECTED BY DEMO OF DOORS TO BE REINSTALLED AND RECONNECTED AT NO ADDITIONAL COST TO THE OWNER.
7. ALL DIMENSIONS ARE TO OUTSIDE FACE OF WALL MATERIAL (GYPSUM BOARD OR MASONRY) UNLESS NOTED OTHERWISE.
8. PROVIDE ALL METAL ROOF PANELS, TRIMS, CLOSURES, WEATHER STRIPPING, GASKETS, ETC PER MANUFACTURER'S RECOMMENDATIONS TO MAINTAIN A WEATHER TIGHT CONDITION AND A COMPLETE AND PROPER INSTALLATION. COORDINATE WITH MANUFACTURER TO DETERMINE APPROPRIATE FASTENERS.
9. PROVIDE GALVANIC PROTECTION BETWEEN DISSIMILAR MATERIALS, WHERE REQUIRED.
10. GENERAL CONTRACTOR SHALL FIELD SURVEY SITE OF PROPOSED WORK AND DETERMINE THE NATURE AND EXTENT OF DEMOLITION WORK PRIOR TO THE ONSET OF DEMOLITION.
11. GENERAL CONTRACTOR SHALL PROVIDE TEMPORARY ROOFING/ROOF CLOSURE AS REQUIRED TO ENCLOSE AND BARRICADE FOR SAFETY AND FOR LOCALIZING AND MINIMIZING DUST AND NOISE FROM AN CONSTRUCTION OPERATIONS AND TO EFFECTIVELY SEPARATE WORK AREAS FROM OTHER OCCUPIED AREAS OF THE BUILDING.
12. CONTRACTOR SHALL BE RESPONSIBLE PERIMETER EDGE BARRIER SAFETY RAILS DURING ALL DEMOLITION AND CONSTRUCTION.
13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SORTING, HAULING AND DISPOSAL OF CONSTRUCTION DEBRIS IN ACCORDANCE WITH STATE AND LOCAL ORDINANCES.
14. CONTRACTOR TO COORDINATE DUMPSTER AND CRANE ACCESS POINTS WITH OWNER. MAINTAIN ACCESS TO EGRESS DOORS AND EGRESS PATHS. CONFIRM FINAL LOCATION WITH OWNER. PROVIDE SECURITY FENCING AROUND DUMPSTER AND CRANE TO PREVENT UNAUTHORIZED ACCESS.

KEYNOTES

- | # | DESCRIPTION |
|----|---|
| 1 | EXISTING STANDING SEAM METAL ROOF, FASTENERS, ICE AND WATER SHIELD TO BE REMOVED. EXISTING DECK TO REMAIN. |
| 2 | NEW STANDING SEAM METAL ROOF (STEEL), ICE AND WATER SHIELD, FLASHING ON EXISTING DECK. EXISTING DECK TO BE PATCHED AND REPAIRED. SEAM DIRECTION TO MATCH EXISTING CONDITION. COLOR: BROWN/COPPER FROM STANDARD FINISHES; SHOULD BE APPROVED BY THE ARCHITECT. |
| 3 | EXISTING ROOF TO REMAIN. |
| 4 | EXISTING GUTTER AND DOWNSPOUT TO BE REMOVED. |
| 5 | NEW ALUMINUM GUTTER AND DOWNSPOUT. |
| 6 | EXISTING EXHAUST FAN TO REMAIN. PROVIDE NEW FLASHING. |
| 7 | EXISTING ROOF TO BE MODIFIED TO TIE INTO NEW ICE AND WATER SHIELD AND FLASHING. |
| 8 | EXISTING CHIMNEY TO REMAIN. PROVIDE NEW FLASHING. |
| C1 | EXISTING METAL LATH AND PLASTER CEILING, TRIM, AND FASCIA TO BE PATCHED, REPAIRED, AND PAINTED. COLOR: TBD BY ARCHITECT. |
| C2 | EXISTING LIGHT FIXTURES AND ELECTRICAL DEVICES TO REMAIN. REMOVE TRIM BEFORE PAINTING AND REINSTALL WHEN PAINTING IS COMPLETE. |
| C3 | EXISTING GUTTER AND DOWNSPOUT TO BE REMOVED. |
| C4 | NEW ALUMINUM GUTTER AND DOWNSPOUT. |
| C5 | EXISTING EXPOSED LAMINATED BEAM TO BE PATCHED, REPAIRED, AND PAINTED. COLOR: TBD BY ARCHITECT. |



HOMEWOOD-FLOSSMOOR
 PARK DISTRICT



Wight & Company
 wightco.com

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 Darien, IL 60561
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 F 630.969.7979

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 CONSTRUCTION

ISSUE FOR BID 12/13/2019
 REV DESCRIPTION DATE

**IRWIN COMMUNITY
 CENTER ROOF
 REPLACEMENT**

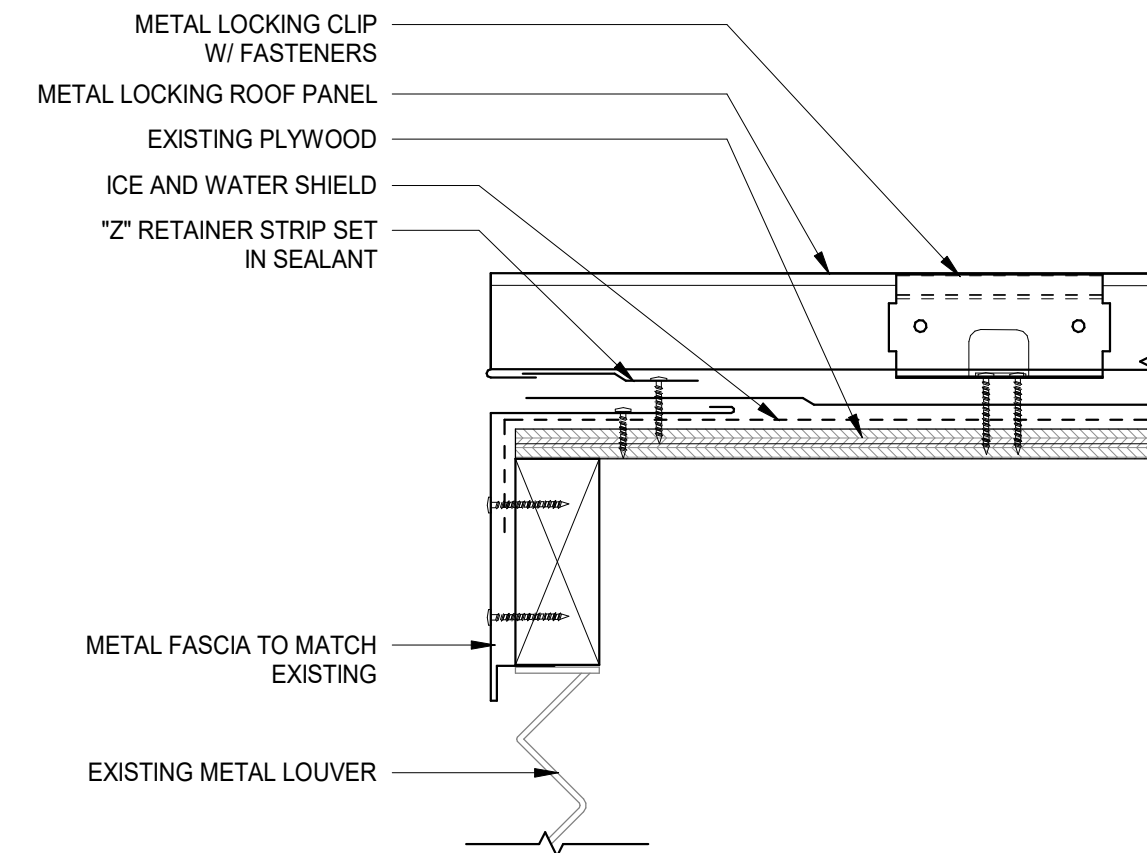
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 Homewood, IL 60430

**ROOF PLAN &
 REFLECTED CEILING
 PLAN**

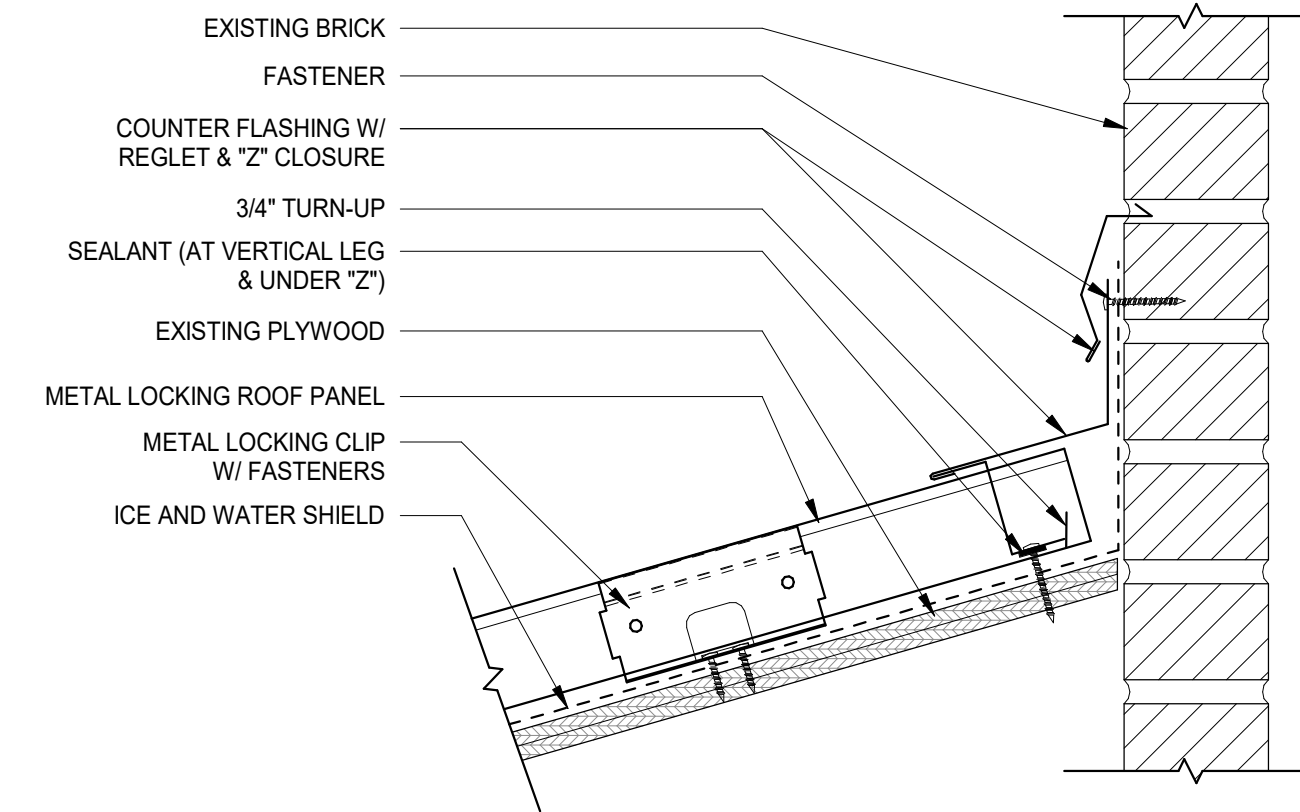
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 Drawn By
 Sheet:

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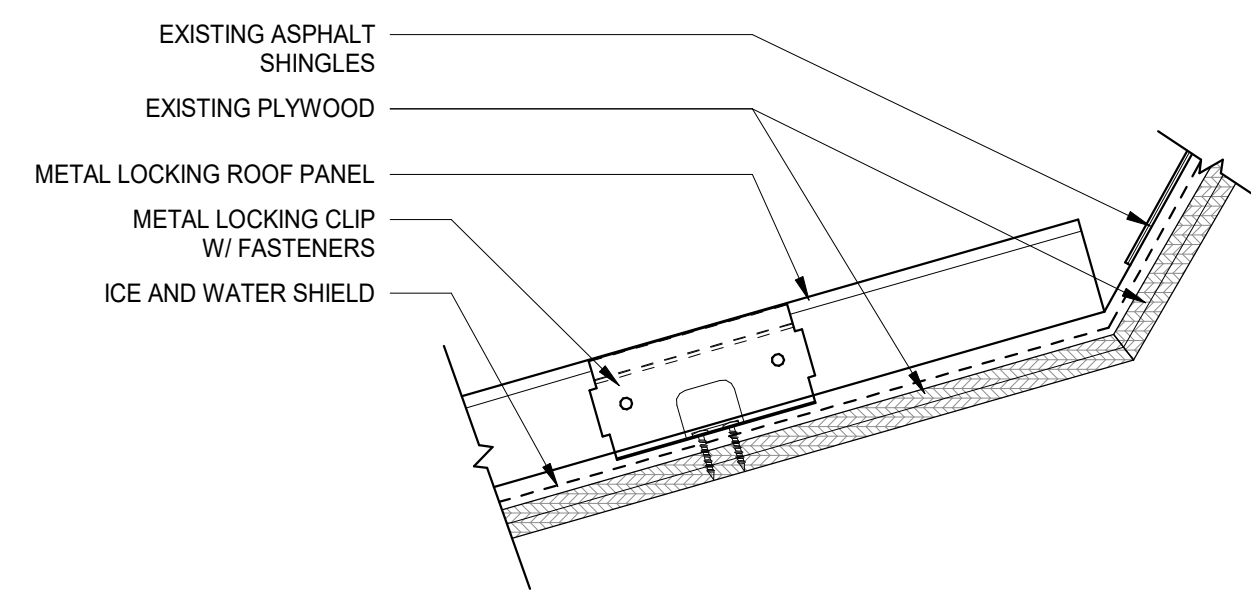
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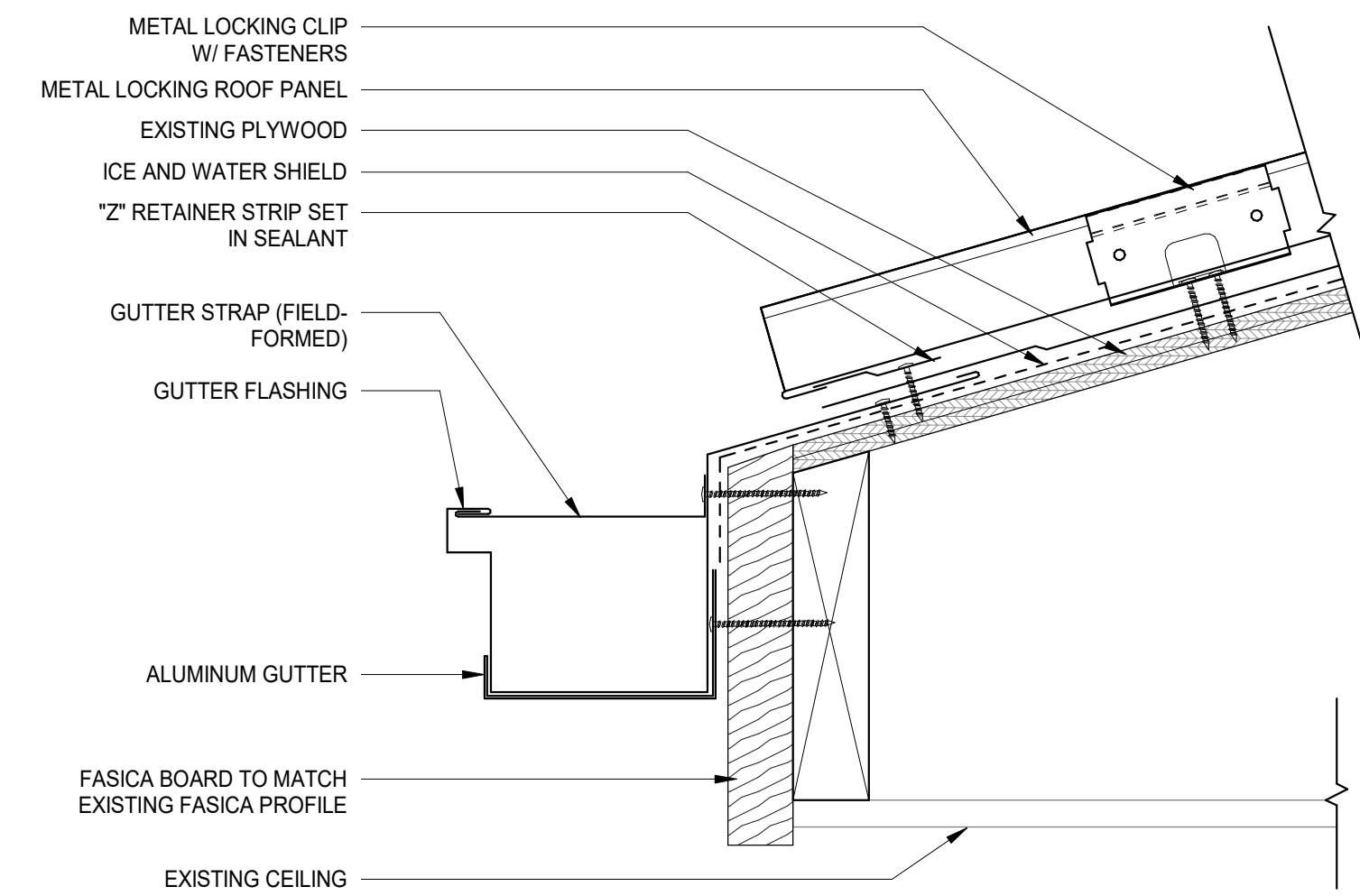
6 DORMER EDGE DETAIL
 SCALE: 3" = 1'-0"



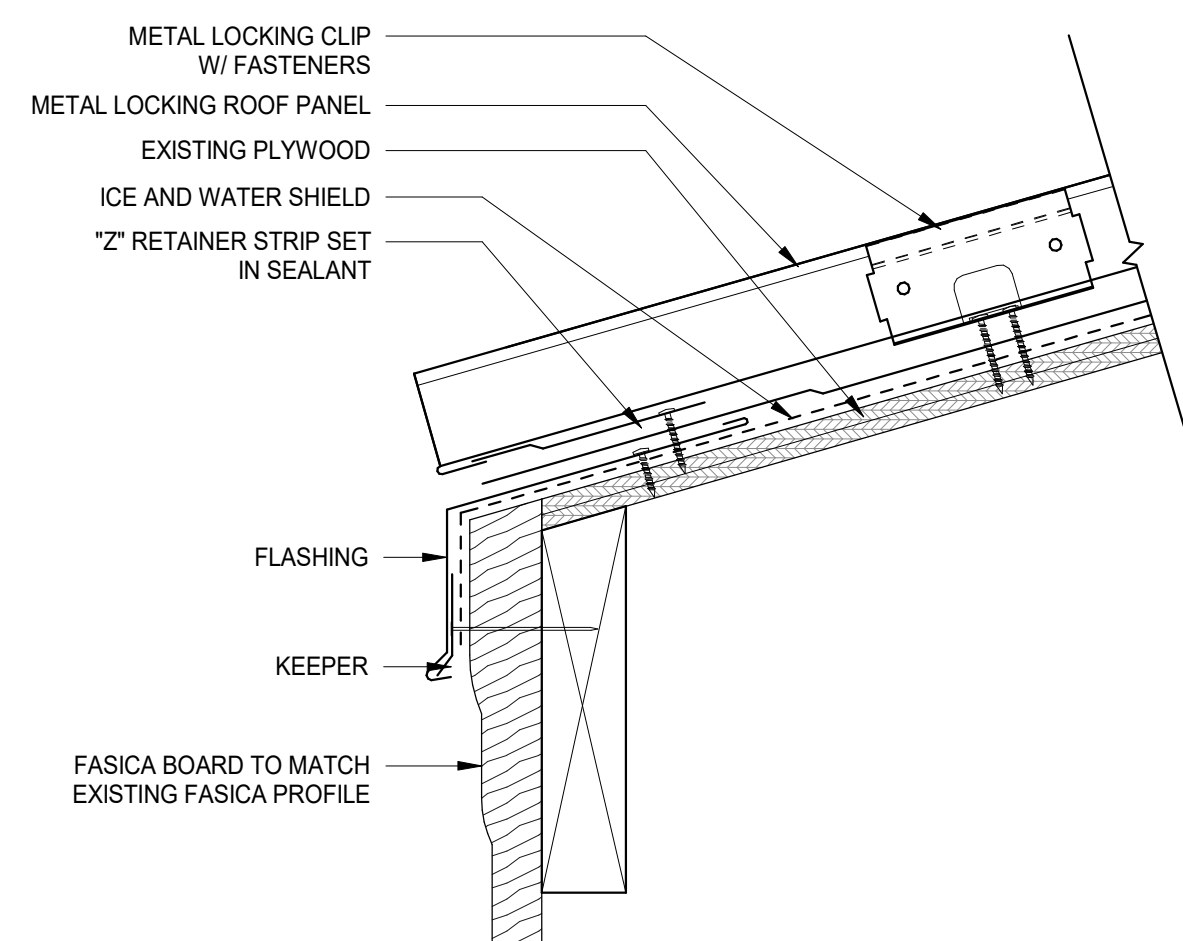
3 ROOF DETAIL AT BRICK
 SCALE: 3" = 1'-0"



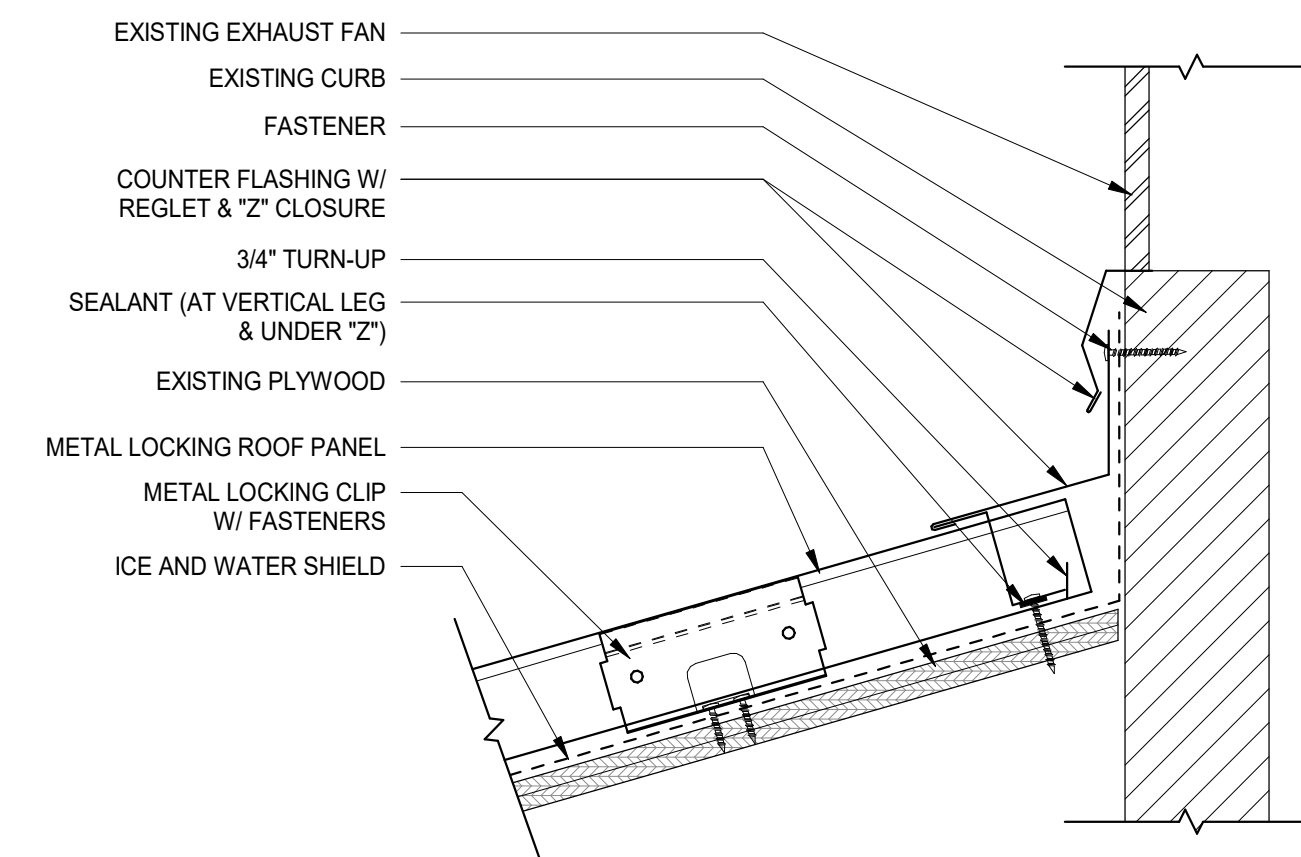
5 ROOF DETAIL AT ASPHALT SHINGLES
 SCALE: 3" = 1'-0"



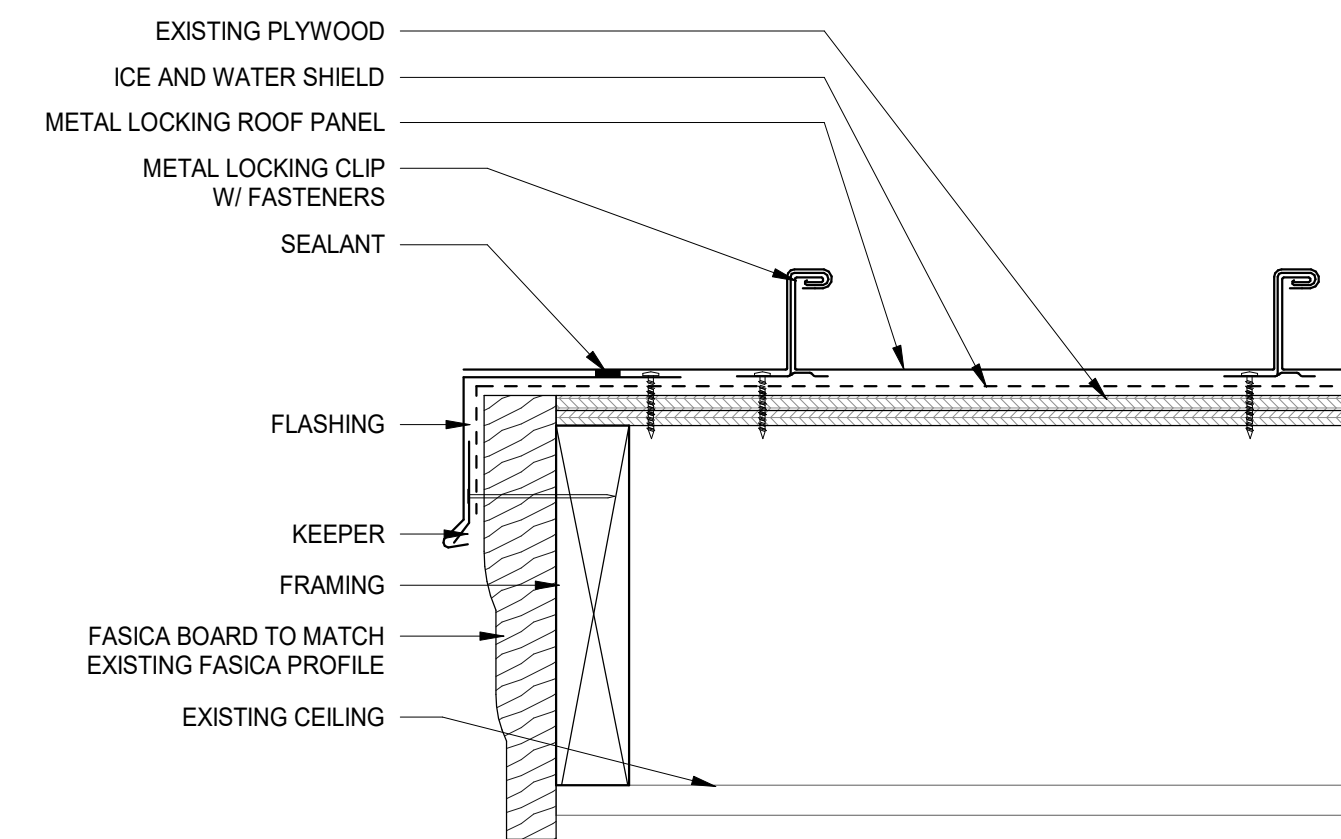
2 ROOF EDGE GUTTER DETAIL
 SCALE: 3" = 1'-0"



7 ROOF EDGE DETAIL
 SCALE: 3" = 1'-0"



4 ROOF DETAIL AT EXHAUST FAN
 SCALE: 3" = 1'-0"



1 BARREL ROOF EDGE DETAIL
 SCALE: 3" = 1'-0"

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 CONSTRUCTION**

REV	DESCRIPTION	DATE

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 CENTER ROOF
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 Homewood, IL 60430

ROOF DETAILS

Project Number:
 190281
 Drawn By:
 Drawn By
 Sheet: